

The Sutton Farm Estate

South Sutton

Area of Special Local Character

Character Appraisal



SSNA

South Sutton Neighbourhood Association

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CHAPTER ONE – Background

Introduction

1.1 Areas of Special Local Character (ASLC) are a local designation that recognise areas of locally distinct character and identify the particular features that the London Borough of Sutton (LBS) wishes to preserve and enhance. It is an additional local designation designed to capture historically important areas that do not meet the more demanding criteria for the statutory designation of a conservation area. ASLC designation does not impose any additional statutory controls and does not remove permitted development rights for homeowners. The purpose of the designation is to ensure that the development is in keeping with the character of the surrounding area and does not result in harm.

Purpose of the Document

1.2 This document sets out the rationale, historical context and associated evidence to support the Sutton Farm Estate, as defined on the following pages, being designated an ASLC within the London Borough of Sutton. The document is intended to be a guide for the London Borough of Sutton Planning Officers, residents of the proposed ASLC and developers. The ambition of this document is to create a balanced approach to preserving and enhancing the unique characteristics of the area.

1.3 The Character Appraisal explains the planning policy context for the ASLC, describes the local history and why its character is special. To assist the decision-making process for future developments, the draft Character Appraisal also identifies the key issues facing the proposed ASLC and proposes design guidelines that would help to address these issues. These ‘Design Guidelines’ will be taken into account by the council when deciding whether to grant planning permission for a development within the proposed ASLC. It is intended that the draft Character Appraisal will be updated following the public consultation to form a material planning consideration. It will also form part of the Belmont and South Cheam Neighbourhood Plan evidence base.

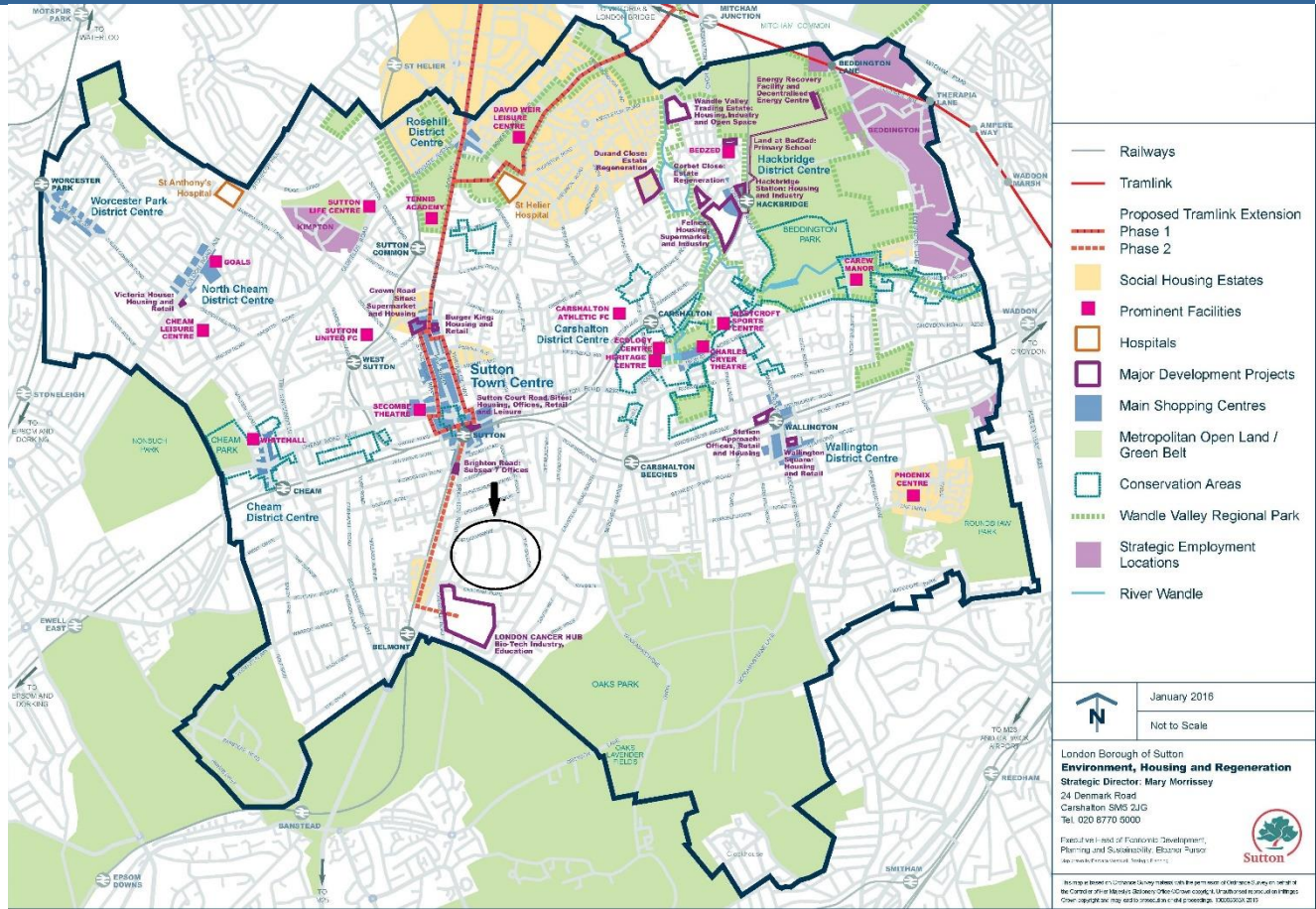
1.4 This document seeks to lay down a structure to maintain or indeed enhance the area bounded by the proposed ASLC. It reflects a desire to maintain civic pride and a preservation of Arts and Crafts, Surrey and British vernacular and Tudorbethan styles whose collective influence make the Sutton Farm Estate so unique to London.

Sutton Farm Estate

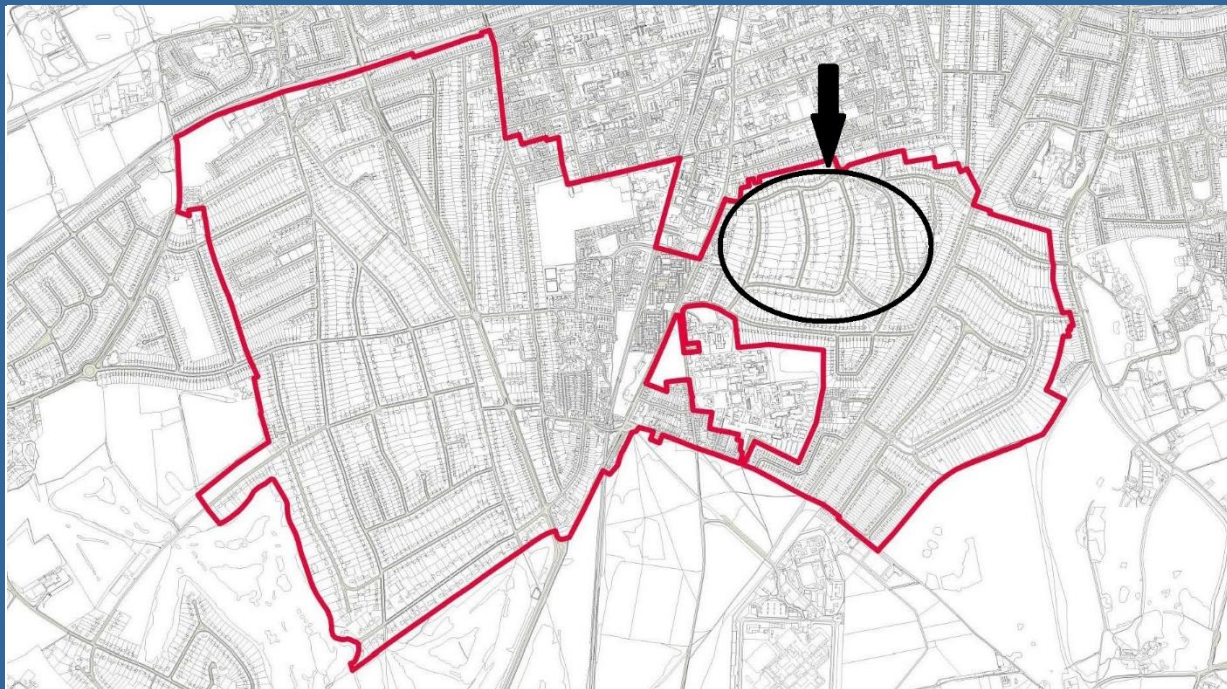
1.5 Sutton Farm Estate, as shown in Map 1.1, is located in the south of the Borough in the ward of Belmont, to the north of the London Cancer Hub site. The area is almost exclusively residential and is characterised by low density suburban homes and mature landscaping. The housing stock is predominately large detached properties that have a significant set back from the road and large rear gardens. The carriageways are generally narrow but with wide grass verges and wide footpaths, giving a spacious feel to the area. There is little on street parking. The proposed ASLC is also located in the ‘Belmont and South Cheam Neighbourhood Planning Area’, as shown in Map 2, where a neighbourhood plan is currently being prepared.

1.6 The main boundaries of the proposed Sutton Farm Estate ASLC are based on the historically important extent of John Overton’s Sutton Farm with its Grade II listed farmhouse lodge based on Brighton Road. The lodge is the oldest building in the parish of Sutton. The roads that fall within the proposed Sutton Farm Estate ASLC include Heath Drive, The Highway, The Causeway, The Linkway, The Downsway and The Gallop, as shown in Map Three. Notably it excludes Egmont Road to the north, Chiltern Road to the south, Brighton Road to the west and Crossways/Banstead Road South to the east.

MAP 1.1: London Borough of Sutton Location Map

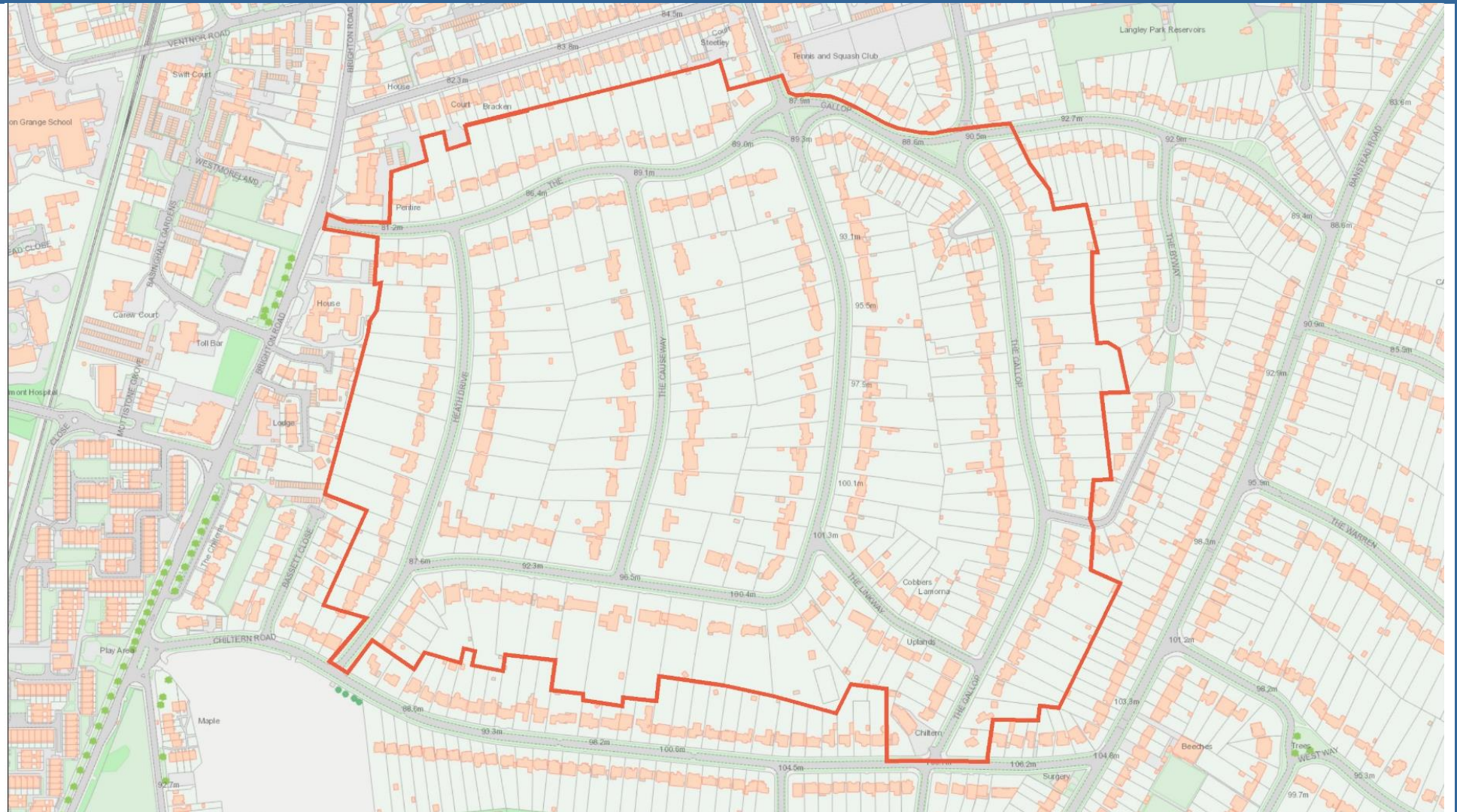


MAP 1.2: Belmont and South Cheam Neighbourhood Planning Area



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MAP 1.3 – Sutton Farm Estate ASLC Boundary



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CHAPTER TWO – Planning Policy Context

What is an Area of Special Local Character?

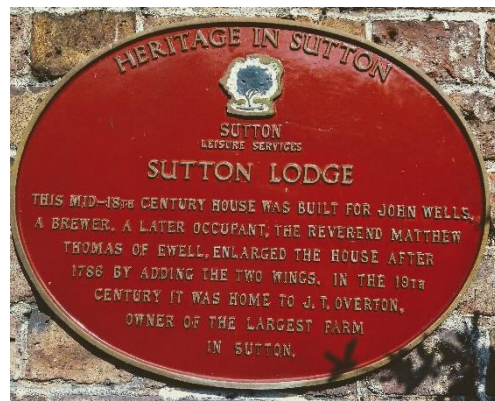
2.1 Areas of Special Local Character (ASLC) are a non-statutory designation in the adopted Sutton Local Plan (2018). ASLCs are areas of Sutton that have a special local character in terms of their townscape, architecture and landscape features. However, it is important to note that ASLCs do not have the same status or enjoy the statutory protection provided by planning legislation as conservation areas. In total there are 22 ASLC already designated in the borough with a range of housing typologies including: Victorian terraced housing, Edwardian semis, low density Arts and Crafts style housing and inter-war social housing estates.

2.2 Sutton Farm Estate, located in south Sutton, is characterised by low density housing of predominantly detached homes. Dwellings are situated in large plots that are significantly set-back from the front boundary and enjoy mature landscaping.



The corner of The Causeway and The Highway, Sutton Farm Estate.

2.3 The area previously formed part of the 'Carshalton Beeches and South Sutton Special Policy Area' (SPA) in the Sutton Unitary Development Plan (2003), a designation that aimed to protect areas of local distinctiveness. However, all SPA designations were deleted on adoption of the council's Core Strategy in 2009. The only designation of its kind that is now recognised in the Sutton Local Plan, other than a Conservation Area, is an ASLC



The Grade II Listed Sutton Lodge, located just outside the proposed ASLC boundary

National and Regional Policies

2.4 The National Planning Policy Framework (2019) requires local planning authorities to set out in their local plans a positive strategy for the conservation and enjoyment of the historic environment. It also states that the effect of an application should be taken into account in determining a planning application. In addition the national Planning Practice Guidance encourages councils to consider “making clear and up to date information on their identified non-designated heritage assets, both in terms of the criteria used to identify assets and information about the location of existing assets, accessible to the public”.

2.5 The London Plan (2016) Policy 7.4 ‘Local Character’ encourages boroughs to consider the different characters of their areas to identify landscapes, buildings and places, where that character should be sustained, protected and enhanced. It advises that characterisation studies can help in this process.

Sutton Local Plan (2018)

2.6 The Sutton Local Plan recognises the importance of locally distinctive places and sets out objectives and policies to preserve and enhance those areas of the borough that have a special local character.

2.7 Strategic Objective 6 of the Local Plan aims to ensure growth is respectful of the suburban character and historic assets and places within the borough, promoting or reinforcing local distinctiveness. In addition, Strategic Objective 22 aims to conserve and enhance the borough's historic places and heritage assets, including their settings, and address heritage at risk as part of a positive strategy for the historic environment.

2.8 The Local Plan sets out a number of policies to help deliver these objectives and support areas with a special local character, including:

- **Policy 7 ‘Housing Density’** – In suburban heartlands developments should seek to enhance the quality of the borough’s environment ensuring all new development respects the positive features of Sutton’s character, reinforcing local distinctiveness and a sense of identity.
- **Policy 28 ‘Character and Design’** – The council will grant planning permission for new development provided it respects local context and responds to local character and heritage assets and retains trees, hedges and other landscape features of amenity value.
- **Policy 30 ‘Heritage’** – The council expects development within an ASLC to conserve and, where practicable, enhance those elements which contribute to an ASLCs particular character or appearance. These elements may include landscaped areas, gardens, trees, hedges and boundary treatments as well as the built form.

2.9 The policy on ASLCs (Policy 30) applies equally to all ASLCs designated in the Local Plan.

CHAPTER THREE – Historical Context

History of the Sutton Farm Estate



3.1 Historically a linear town with Victorian and Edwardian grid like expansion, Sutton needed to expand as the railways brought new wealth and those seeking a more rural and healthier living environment compared to central London. As a result the town began to expand into the countryside of the Banstead Downs. Free from war the 1920s saw a new Sutton begin to emerge, reflecting on the qualities and philosophy of:

- The Arts and Crafts movement,
- Garden City inspiration of Ebenezer Howard¹
- Surrey and British vernacular architecture

3.2 In general there was a reaction against the industrial society of close city living, often stark, in symmetrical estates of terraced and semi-detached houses to a desire to have low density, healthier environments that took their cues from traditional building methods and materials as well as asymmetrical detached styling that were all part of the wider social and artistic reform. The location of this new urban model was John Overton's farm of c.400 acres that spread out east of its farmhouse, namely Sutton Lodge.

3.3 Calling upon architects such as PW Meredith (who designed Dorking Halls), urban landscaper Lionel Dibdin, guidance from the Overton family and other noted craftsmen including Robert Lutyens, Sutton ventured into the rural landscape with a new urban philosophy using large plots, well-spaced out, low density detached housing that reflected traditional, asymmetrical and high quality buildings. A philosophy that has lasted until the present day.

3.4 There was no doubt healthy cross observation and resource sharing with the evolving Burton Estate in nearby South Cheam. Andrew Burton's unique style has many recognisable features including tile-hung facades, leaded light windows and porches in an Arts and Crafts Style with several fine examples of 1920s and 1930s Mock-Tudor; all of which appeared on the Sutton Farm Estate.

3.5 Road patterns were no longer straight but twisted and curved to match old country paths, streets were blessed with larger than average grass verges and extensive tree planting to maintain a rural feel. Much of that was absent in the previous Victorian build out of Sutton.

3.6 The open and low density character of the Sutton Farm Estate area is predominantly defined by the spacious separation of the detached properties, significant setback from the road, mature landscaping within the large front and rear gardens, verge planting and associated open spaces.

¹ Founder of the garden city movement in which people live harmoniously together with nature.

Sutton Lodge

3.7 The development of the Sutton Farm Estate is closely linked with Sutton Lodge, a Grade II Listed building located just outside the proposed boundary of the ASLC (see Map 3.1). It is the oldest building within the parish of Sutton. Whilst not within the proposed ASLC, the SSNA recognises the lodge’s legacy as being the farmhouse of the farmland that became the Sutton Farm Estate.

3.8 The following article, written by Julia Kennard and published in the Sutton Guardian, gives us an insight into the history of Sutton Lodge and its grounds:

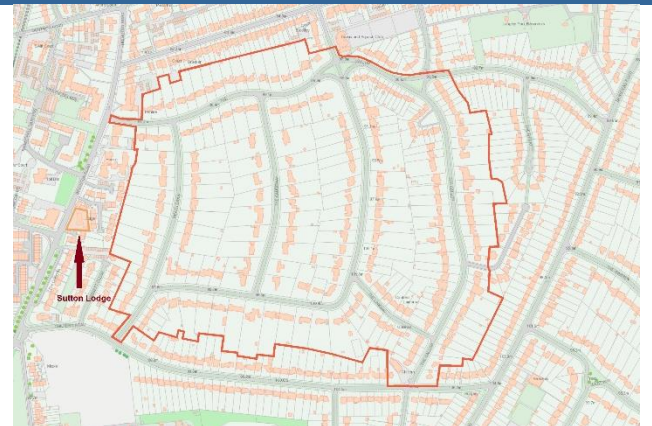
When the Prince of Wales arrived at Sutton Lodge in Brighton Road, enjoying the countryside was usually the last thing on his mind. The house - which was built by brewer John Wells in 1762 - was the perfect hideaway for the future George IV to have trysts with his mistresses.

Sutton's borough archivist Kath Shawcross revealed the house was built on the site of a cottage, known as Little Hell because rowdy Epsom Derbygoers would buy their beer there on the way to the races. The cottage - which possibly dates to 1754 - was eventually razed to the ground and a house was built by Mr Wells. In 1786 it passed to the Reverend Matthew Thomas of Ewell and in 1838 Henry Froggart of Brixton sold it for £700 to John Overton of Cheam whose farm became the largest in Sutton.

About the early part of the 19th Century, the house was rented by the Prince Regent as a residence for one of his “unofficial wives” and affairs took place there. It was a favourite haunt of Kings, particularly George III (1760 - 1820) and George IV (Prince Regent, 1820-1830), who had two of the larger rooms added to the Middle of the “Lodge” which was then known as “Sutton Farm”.

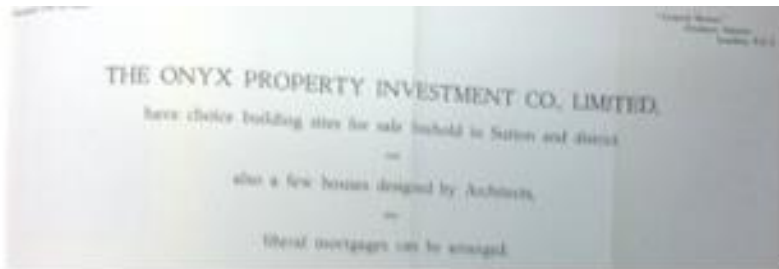
3.9 In 1838 the house was acquired by John T Overton who bought out the copyhold on 10 December 1866. Overton was a substantial farmer. In 1841 he was working 140 acres which had risen to 350 acres by 1851. He died in 1882. His obituary in the local paper described him as a 'staunch churchman and Conservative'. He had played a very active part in the administration of Sutton parish, as overseer of the poor, a churchwarden, and member of the Sutton Parochial Sanitary Committee. He was vice chairman of Epsom District Highway Board, and was one of the directors of the Sutton Gas Company. He was also a member of the Croydon Farmers' Club, The East Surrey Agricultural Association, and a prominent member of the Surrey Agricultural Association.

MAP 3.1: Sutton Lodge



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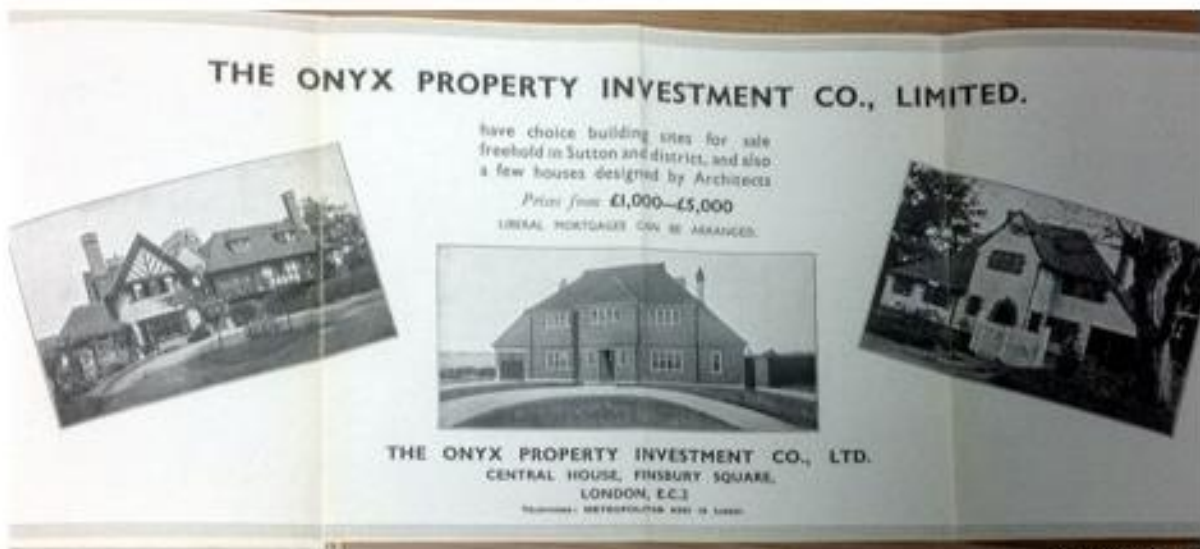
Sowing the Seeds: The conversion of Sutton Farm to the Sutton Farm Estate



C 1931



C 1933



C 1934

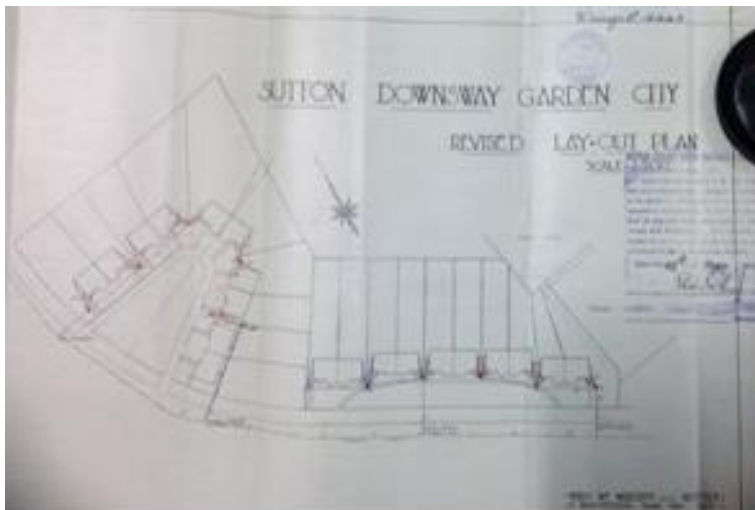
The Sutton Farm Estate was developed the old Sutton Farm in the 1920 and 1930s. The Onyx Property Investment Co. Ltd were instrumental in the transformation of the area from farmland to suburbia



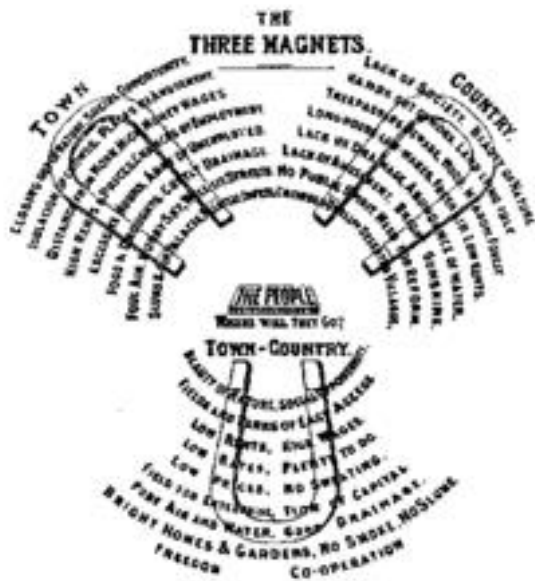
Grade II Listed Sutton Lodge today.

Creation of Downsway Garden City

3.10 Within the proposed ASLC to the North East Corner is the Sutton Downsway Garden City, the 1921 plan is below. As Sutton ventured away from the Victorian street plans of the past it sought new ideas. In this case the architect PW Meredith drew upon the inspiration of Ebenezer Howard.



Original drawings of the proposed 'Downsway Garden City'



The principles of the ‘Three Magnets’ influenced the creation of The Downsway, which can be seen today in the images on above.,

3.11 This enclave of semi-detached housing that includes a private close, situated by the northern end of The Gallop represents an example of the initial shift into the rural landscape with an effort to blend rural and urban philosophies by using a Garden City approach.

3.12 Sir Ebenezer Howard OBE, the founder of the garden city movement, is known for his publication ‘To-Morrow: A Peaceful Path to Real Reform’, the description of a utopian city in which people live harmoniously together with nature. The publication resulted in the founding of the garden city movement, and the building of the first garden city, Letchworth Garden City, commenced in 1903.

The Gallop – Diversity of Design

3.13 Within the proposed ASLC lies The Gallop. Its northern end begins with pre WWII semi-detached housing, which includes a private close, whilst the southern end, which meets Chiltern Road, has a cluster of flint-faced buildings including Chiltern Church. In between there is a series of Mock-Tudor detached house, some distinctive post WWII housing stock and 16 bungalows, most of 1 storey.

3.14 AG Taylor, a keen Christian, built Chiltern Church and the surrounding flint buildings under the architectural guidance of noted architect Alfred Claude Burlingham, whose buildings were always of the highest quality, usually containing fine oak joinery. The carved barge boards at the front of the Church are typical of his work.

3.15 Burlingham visited houses in the area designed by architects he much admired, such as Lutyens, Baillie Scott, Voysey and Norman Shaw, which clearly were to influence his designs and are reflected in properties across the proposed Sutton Farm Estate ASLC.



Chiltern Church and locally listed flint faced buildings



Property cluster thought to be of Lutyens Jnr design



Private Close at Northern End (Downsway Garden City)



Just 2 of the 16 bungalows that contribute to the open street scene of The Gallop



Semi's at Northern End (Downsway Garden City)

3.16 There has been recent development carried out in The Gallop which has already begun to change the nature and character of the road. Detached houses created from the bungalows that are far from complimentary to the surrounding stock, vertical conversion of front facades to 3 storeys which alter the street scene and 2 houses converted into private business with entirely tarmacked gardens and significant 'on site' parking.

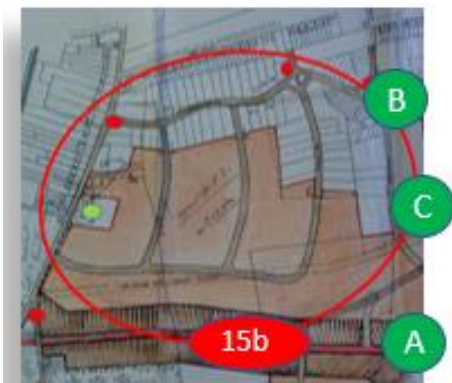
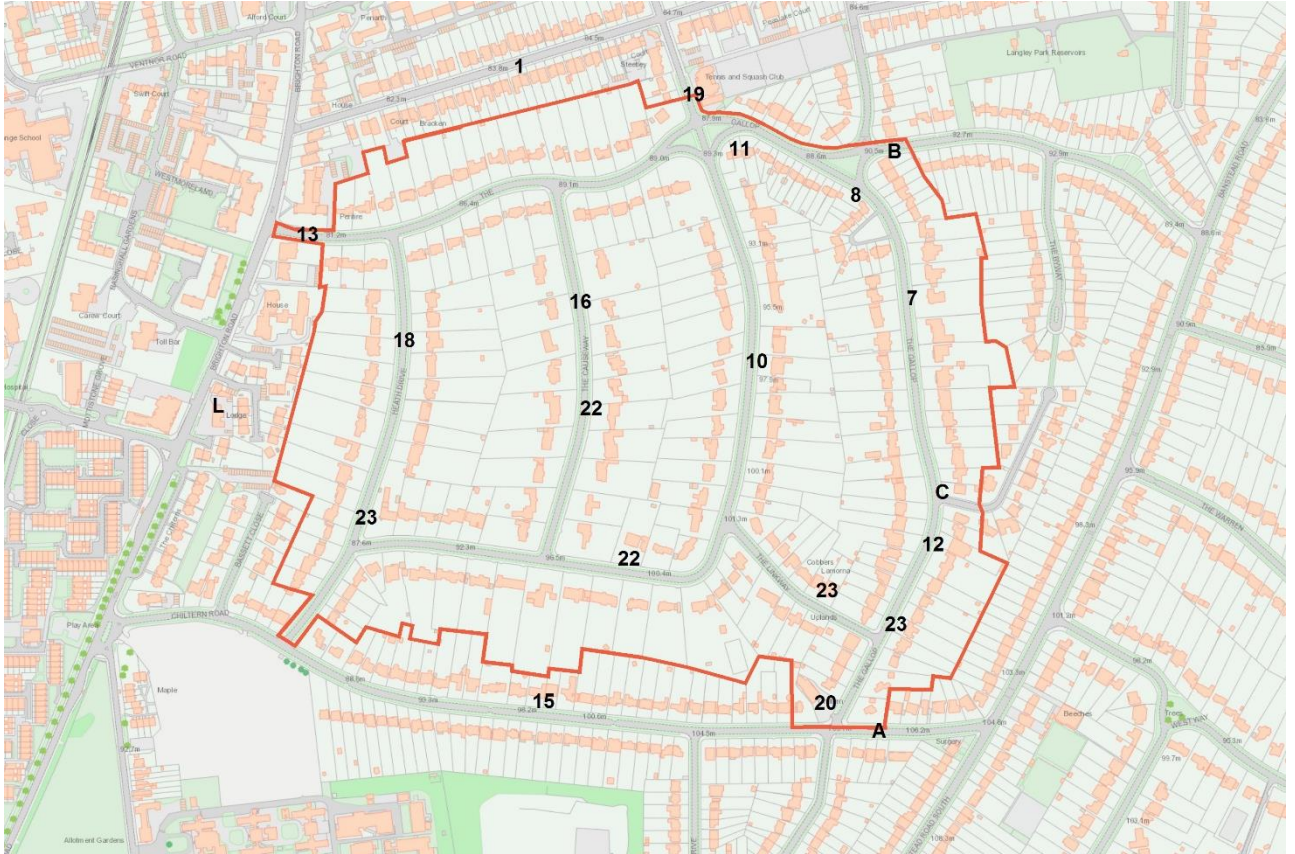
Sutton Farm Estate Historical Timeline

3.17 A timeline detailing the developments of the Sutton Farm Estate following John Overton's farm becoming the location of choice for the new urban model in South Sutton is shown in Table 3.1 on the follow page

TABLE 3.1: Development of the Sutton Farm Estate

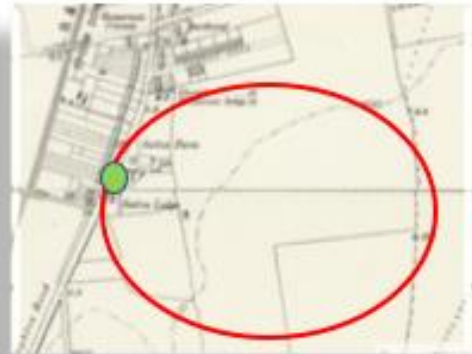
Map Ref	Year	Commentary
1	1914	In March 1914 Mr CJ Heffer, of Albion Rd, discusses the potential for development on the land to the south of Egmont Road.
2	1914	The Sutton Urban District Council agree to discuss 'laying out land' on the Sutton Farm Estate but make it clear they do not want a road for heavy traffic in the area.
3	1914	In April 1914 Mr CJ Heffer and Dr R S Overton, Mr Flower of Dixon Hind and the surveyor, LJ Dibdin**, explained the proposed development of this estate to Sutton Urban District Council committee's satisfaction. It is agreed that it will be included in council's town planning scheme. <i>**Lionel Dibdin worked as a land dealer and estate developer laying out estates in the Surrey and Sussex Counties. These estates often comprised large houses and he seriously took into account the environment and amenities. He was renowned for his sympathetic estate design, not destroying the existing properties on an estate and designing the road layout to fit the existing trees.</i>
4	1914	In July 1914 the Banstead Downs Estate Company is formed with Mr JT Overton & Mr CJ Heffer. Dr RS Overton is involved.
5	1914	In December 1914 the Banstead Downs Estate Company proposes dividing the first 20 acres of land into 16-18 plots (Approximately. 1 acre per house with a 'considerable amount of open space').
6	1915	In January 1915 work starts on laying out the new estate.
7	1919	In 1919 plans are submitted for houses in The Gallop.
8	1921	In 1921 26 houses developed by Banstead Downs Estate Company for 'Sutton Downsway Housing Society Ltd', labelled 'Sutton Downsway Garden City'. This became part of The Gallop, including the horseshoe plots. The Downsway starts to be developed too.
9	1922	In 1922 the layout plans for the Banstead Downs Estate are produced by Mr PW Meredith (Dorking Halls & Garden City architect).
10	1923	In 1923 it is agreed that the road extension between The Downsway and The Gallop is to be called 'The Highway'.
11	1924	1924/5 Mr JT Overton moves into a new house in The Downsway (no 32), designed by Mr PW Meredith and later owned by the Forte family (and is arguably deserved of a LBS Heritage Red Plaque).
12	1924	The Gallop is extended by the Banstead Downs Estate Company.
13	1925	In 1925/26 a temporary estate office built on the corner of The Downsway and Brighton Road for the Banstead Downs Estate Company.
14	1926	In 1926/27 the Banstead Downs Estate formerly becomes the 'Sutton Farm Estate'. Onyx Property Investment Co Ltd confirm proposals for a diversion of an east-west road through estate ('Chiltern Road' suggested by Min Trans originally).
15	1926	Mr AG Taylor, a builder who lived at Stowford, agrees to sell part of the Sutton Farm Estate land to the Hospital Board. The Sutton Urban District Council agree to the diversion of the proposed east-west road, now Chiltern Road, connecting Croydon with Epsom.
16	1926	Onyx Property Investment Co Ltd want a further road to be called The Causeway.
17	1928	In 1928 32 houses are designed for the Sutton Farm Estate by Mr WJ Wyatt.
18	1929	In 1929 Heath Drive proposed as the first road out of The Downsway.
19	1930	In 1930 it is recommend extending The Gallop to the junction of Devonshire Road and The Highway, including the part of Crossways from The Gallop to parish boundary.
20	1931	In 1931 a Mission Hall is planned for the corner of The Gallop and Chiltern Road.
21	1933	In 1933/34 plans are submitted by Mr R Lutyens for 2x2 houses in The Gallop for the JH Development Co Ltd. <i>**Son of Edwin Lutyens, a British architect known for imaginatively adapting traditional architectural styles to the requirements of his era. He designed many English country houses.</i>
22	1934	In 1934 The Causeway and The Highway are renumbered.
23	1950	In 1950 to 1955 infill development is completed, including the bungalows in The Highway and The Gallop, the southern end of Heath Drive and development of the southern end of The Gallop.

MAP 3.1: Timeline Locations

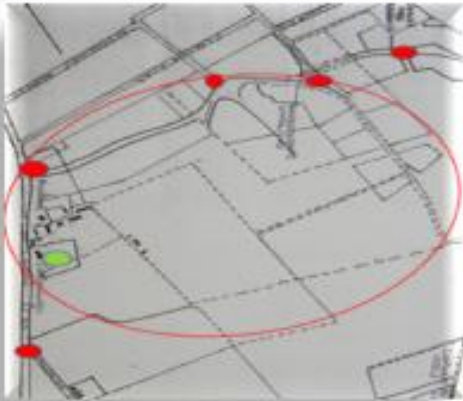




Roques Map London 1746/1791



SFE Area c 1897



SFE Area c 1926

Sutton
Lodge



SFE Proposed Layout 1923



SFE Proposed Layout 1926



SFE Layout 1927



SFE Layout c 1935



SFE Current Day

CHAPTER FOUR – Assessment of the Proposed ASLC

Assessment Criteria

4.1 When designating ASLCs it is important that clear and transparent procedures are adopted. Accordingly, in Sutton, the council uses seven criteria, set out below, which are used to assess the merit of potential locations which are considered for designation or when reviewing the boundaries of existing areas. These criteria have been prepared in order to try to achieve a common standard for ASLCs and to make explicit the basis on which areas have been identified.

TABLE 4.1: Assessment Criteria

1. Quality of the overall character of the area.
2. Townscape value of individual and groups of buildings.
3. Architectural quality of buildings.
4. Historical importance of the area.
5. Landscape characteristics.
6. Quality of open spaces.
7. Contribution of incidental features such as walls, fences and hedges.

Assessment Area

4.2 These criteria have been used to assess the special historic, architectural and local characteristics of the area under review for proposed designation as an ASLC. Map 4.1 and Table 4.1 below shows the boundary of the area that has been reviewed, including those areas/roads that were assessed but ultimately do not form part of the proposed boundary. Table 4.2 sets out the analysis of the distinctive qualities of each of the roads included in the review.

TABLE 4.2: Roads included within the Assessment

Road Name	Included in proposed ASLC boundary?
Heath Drive	✓
The Causeway	✓
The Highway	✓
The Gallop	✓
The Downsway	✓
The Linkway	✓
Chiltern Road	X
Bassett Close	X
Woodbury Drive	X
Cheviot Close	X
Crossways	X
The Byway	X

MAP 4.1 – Assessment Area (Those areas in shaded orange were assessed but ultimately not proposed for inclusion with the ASLC)

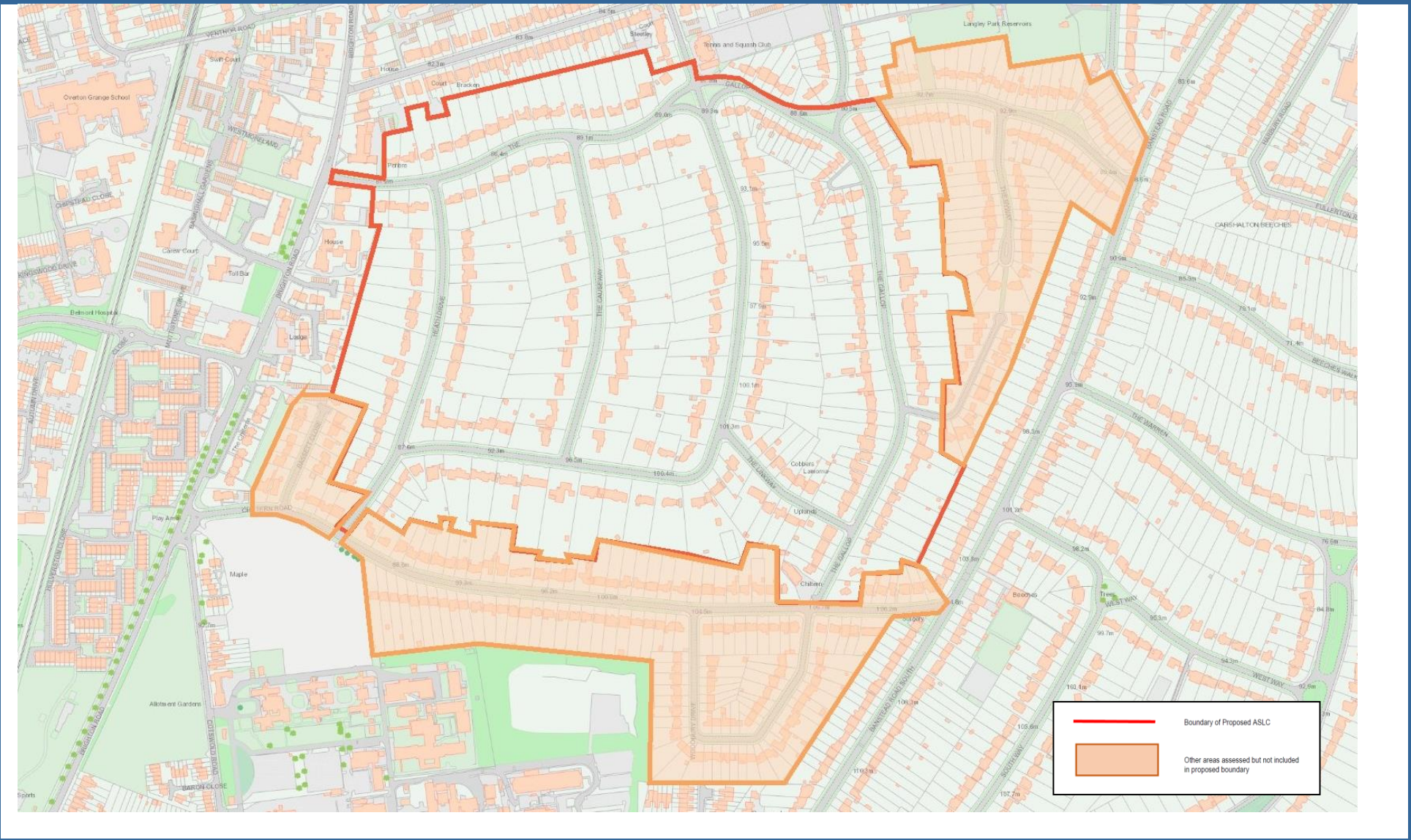


TABLE 4.3: ASLC Assessment Matrix for Component Roads of the Proposed Sutton Farm Estate

Assessment Criteria	Heath Drive	The Causeway	The Highway	The Gallop	The Downsway	The Linkway
QUALITY OF THE OVERALL CHARACTER						
Number of houses	27	19	50	77	32	11
Plot Sizes (average)	Large, although some smaller plots on southern end of the road (possibly as a result of infill development at Bassett Close) (0.21 ha)	Very large and fairly consistent in size (0.25 ha)	Large to very large. Plots on the southern side are very large with slightly smaller on the northern end of the road. (0.21 ha)	Medium. Plots sizes vary. The smallest plots are the semi-detached properties at the northern end of the road and the properties at the southern end. (0.12 ha)	Medium. Plots are fairly consistent in size along the road. (0.18 ha)	Medium. Plots sizes are varied due to the layout of the road (the road is a small link road between The Highway and The Gallop) (0.10 ha)
Frontage widths	Large to very large (18 m to 36 m)	Large to very large (18 m to 36 m)	Large to very large (18 m to 36 m)	Medium to Large (6.5 m to 30 m)	Large (18 m to 24 m)	Medium (7 m to 9 m)
Spaces between buildings	3.6 m to 23 m	3.6 m to 23 m	3.6 m to 23 m	3.6 m to 23 m	3.6 m to 23 m	3.6 m to 23 m
Predominant building line	Well defined and generous with a sense of spaciousness (11 m to 16 m)	Well defined and generous with a sense of spaciousness (15 m to 16 m)	Well defined and generous with a sense of spaciousness (11 m to 16 m)	Smaller plots located to the north and south of the road but generally well defined. Plots in the middle section of the road are well defined and generous (6 m to 16 m)	Well defined and generous with a sense of spaciousness (11 m to 16 m)	Smaller plots with less of a sense of spaciousness (7 m to 9 m)
Rear garden size (average)	Very large, some smaller gardens on the south-western side of the road. (0.14 ha)	Very large (0.15 ha)	Large to very large. However the size varies throughout the road. The largest gardens are located on the southern side of the east-west part of the road but are an irregular shape. The north-south section are fairly consistent. (0.13 ha)	Medium to large (0.1 ha)	Medium (0.05 ha)	Medium (0.05 ha)
Site coverage	Large footprint properties but located within large plot sizes	Large footprint properties but located within large plot sizes	Large footprint properties but located within large plot sizes	Northern and southern section of The Gallop have larger site coverage. The middle section of the road has the more characteristic large footprint properties in large plots	Large footprint properties but located within large plot sizes	Medium footprint properties in medium plot sizes

TABLE 4.3: ASLC Assessment Matrix for Component Roads of the Proposed Sutton Farm Estate

Assessment Criteria	Heath Drive	The Causeway	The Highway	The Gallop	The Downsway	The Linkway
Contemporary infill development	Minor	Minor	Minor	Minor	Minor	Minor
Amount of back garden land development	None/Minor - Possible that Bassett Close was originally part of the gardens of Heath Drive	None	None	None	None	None
On street parking	Limited to none – minor restrictions apply	Limited to none – minor restrictions apply	Limited to none – minor restrictions apply	Limited to none – minor restrictions apply	Limited to none – minor restrictions apply	Limited to none – minor restrictions apply
Extent of traffic intrusion	Minor/very limited. Quiet suburban feel	Minor/very limited. Quiet suburban feel	Minor/very limited. Quiet suburban feel	Minor/very limited. Quiet suburban feel	Minor/very limited. Quiet suburban feel	Minor/very limited. Quiet suburban feel
Land uses	Residential	Residential	Residential	Residential / Community (Church)	Residential	Residential
Listed/Locally Listed Buildings	None	None	None	75, 77 and 90 The Gallop 81 Chiltern Road and Church with adjacent outbuildings	None	None
TOWNSCAPE VALUE / ARCHITECTURAL QUALITY						
Extent of visible extensions to the original buildings	Minor	Minor	Minor	Minor	Minor	Minor
Buildings types	Large detached	Large detached	Large detached	Various. Semis to the south western flank and to the north near The Downsway with 16 bungalows and large detached in the core of the road. Flint faced properties close to Chiltern Church.	Detached	Detached with some bungalows and a bungalow conversion to a detached house.
Predominant characteristics and building materials	Arts and Crafts, Surrey vernacular and Tudorbethan	Arts and Crafts, Surrey vernacular and Tudorbethan	Arts and Crafts, Surrey vernacular and Tudorbethan -	Arts and Crafts, Surrey vernacular and Tudorbethan - Red brick built lower level, tile hung second floor or Tudorbethan design, often with porch and wrought iron detailed hard wood door.	Arts and Crafts, Surrey vernacular and Tudorbethan	Arts and Crafts, Surrey vernacular and Tudorbethan
Roof forms	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped
Scaling (e.g. storeys)	2	2	Predominately 2 but some 1	1-2 storeys	2	1-2 storeys

TABLE 4.3: ASLC Assessment Matrix for Component Roads of the Proposed Sutton Farm Estate

Assessment Criteria	Heath Drive	The Causeway	The Highway	The Gallop	The Downsway	The Linkway
Detailing	Red brick built lower level, tile hung second floor or Tudorbethan design, often with porch and wrought iron detailed hard wood door.	Red brick built lower level, tile hung second floor or Tudorbethan design, often with porch and wrought iron detailed hard wood door.	Red brick built lower level, tile hung second floor or Tudorbethan design, often with porch and wrought iron detailed hard wood door.	Flint faced properties, Tudorbethan 1st floor styling, post war Semis near Chiltern Church and distinct Downsway Garden City Semis.	Red brick built lower level, tile hung second floor or Tudorbethan design, often with porch and wrought iron detailed hard wood door.	Some Tudorbethan influence with evidence of Dutch style hipped roof.
Visible changes to property under permitted development	Minor	Minor	Minor	Loss of Landscaping in 2 care homes, Bungalow conversion to a large detached Tudorbethan House	Minor	Bungalow conversion to a white walled, grey roof detached house
HISTORICAL IMPORTANCE						
Origins of development	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty	1920/1930s by Banstead Downs Estate Company/Sutton Farm Estate and ONYX Properties Ltd and noted architects & Overton dynasty
Former uses of area	Originally the land was used for farming prior to the development of the estate.	Originally the land was used for farming prior to the development of the estate.	Originally the land was used for farming prior to the development of the estate.	Originally the land was used for farming prior to the development of the estate.	Originally the land was used for farming prior to the development of the estate.	Originally the land was used for farming prior to the development of the estate.
LANDSCAPE CHARACTERISTICS						
Extent of front garden soft landscaping	Gardens are extensively well planted with mature shrubbery and many mature trees. Some hardstanding for off street parking.	Gardens are extensively well planted with mature shrubbery and many mature trees. Limited hardstanding for off street parking.	Gardens are extensively well planted with mature shrubbery and many mature trees. Some hardstanding for off street parking.	Gardens are extensively well planted with mature shrubbery and many mature trees. Some hardstanding for off street parking.	Gardens are extensively well planted with mature shrubbery and many mature trees Limited hardstanding for off street parking.	Gardens are well planted with mature shrubbery alongside a driveway. Some hardstanding for off street parking.
Tree cover in gardens	Extensive	Extensive	Extensive	Extensive	Extensive	Extensive
Tree cover in streets (% mature)	37 (80%)	40 (95%)	83 (90%)	100 (80%)	73 (95%)	20 (75%)
QUALITY OF OPEN SPACES						
Open Spaces	No public open spaces	No public open spaces	No public open spaces	No public open spaces	No public open spaces	No public open spaces
CONTRIBUTION OF INCIDENTAL FEATURES						
Nature Conservation	Rich and diverse Natural Habitat. Sizeable back gardens	Rich and diverse Natural Habitat. Sizeable back gardens	Rich and diverse Natural Habitat. Sizeable back	Rich and diverse Natural Habitat. Sizeable back	Rich and diverse Natural Habitat. Sizeable back	Rich and diverse Natural Habitat. Sizeable back

TABLE 4.3: ASLC Assessment Matrix for Component Roads of the Proposed Sutton Farm Estate

Assessment Criteria	Heath Drive	The Causeway	The Highway	The Gallop	The Downsway	The Linkway
	form a large block of green space which is likely to have biodiversity value.	form a large block of green space which is likely to have biodiversity value.	gardens form a large block of green space which is likely to have biodiversity value.	gardens form a large block of green space which is likely to have biodiversity value.	gardens form a large block of green space which is likely to have biodiversity value.	gardens form a large block of green space which is likely to have biodiversity value.
Negative Features	Nothing of note.	Nothing of note.	Nothing of note.	Two residential care homes that are out of character with the rest of the residential neighbours. Front gardens are tarmacked to be maximised for parking.	Moderate Traffic as an east-west link between Banstead Road South and Brighton Road.	Nothing of note.
Neutral Areas	Nothing of note.	Nothing of note.	Nothing of note.	Nothing of note.	Nothing of note.	Nothing of note.
Grass Verge Square Metres	1,645 m ²	1,435 m ²	3,031 m ²	2,192 m ²	1,828 m ²	282 m ²
Age of Properties	1932 to 1935	1929 to 1935	1924 to 1935	1919 to 1935	1921 to 1935	1930 to 1955

TABLE 4.4: ASLC Assessment Matrix for Roads Assessed but not proposed for inclusion.

Assessment Criteria	Chiltern Road	Bassett Close	Woodbury Drive	Cheviot Close	Crossways	The Byway
QUALITY OF THE OVERALL CHARACTER						
Number of houses	94	13	60	16	47	22
Plot Sizes (average)	Medium plots but noticeably smaller than other parts of the proposed area. The plots to north of the road are larger but inconsistent in shape. Those to the south are more uniform. (0.08 ha)	A small cul-de-sac with smaller plot sizes, although the most northerly property has a medium plot. (0.05 ha)	Medium. Plots are around a horseshoe road so are inconsistent in size. (0.06 ha)	Medium. Plots are inconsistent in size with shallow backgardens. (0.06 ha)	Medium to large. Plots are inconsistent in size along the road with varying rear gardens depths (0.07 ha)	Medium to large. Plots vary in size, reflect the cul-de-sac layout. The properties to the south have large rear gardens. (0.09 ha)
Frontage widths	Medium to Large (9 m to 18 m)	Medium to Large (16 m)	Medium (12 m)	Medium to Large (12 m to 18 m)	Medium to Large (12 m to 15 m)	Medium to Large (12 m to 18 m)
Spaces between buildings	2 m to 5 m	6 m	2 m to 7 m	2 m to 7 m	2 m to 7 m	2 m to 7 m
Predominant building line	Consistent building with a limited sense of spaciousness compared to other parts of the area.	Building line is good with a limited sense of spaciousness.	Building line is ok with some sense of spaciousness.	Limited sense of spaciousness. Small gaps between properties on eastern side of the road give an almost terrace effect.	Medium to large plots with some sense of spaciousness particularly mid road with a large verge area.	Fairly consistent building line along the north-south axis of the road. Small separation distances between some homes limits the spaciousness.
Rear garden size (average)	Gardens to the north are inconsistent in size but generally medium. The gardens to the south are more consistent. (0.06 ha)	Small (0.02 ha)	Medium (0.04 ha)	Small (0.025 ha)	Medium (0.05 ha)	Medium (0.06 ha)
Site coverage	Medium / large footprint properties in medium to large plot sizes	Smaller footprint properties in small plot sizes	Medium footprint properties in medium plot sizes	Medium footprint properties in medium plot sizes	Medium footprint properties in medium to large plot sizes	Medium footprint properties in medium to large plot sizes
Contemporary infill development	None	None	None	Minor, Bungalow converted to a white walled, grey roof detached house.	None	None
Amount of back garden land deve.	None	None	None	None	None	None
On street parking	Limited to none – minor parking restrictions apply	Limited to none – minor parking restrictions apply	Limited to none – minor parking restrictions apply	Limited to none – minor parking restrictions apply	Limited to none – minor parking restrictions apply	Limited to none – minor parking restrictions apply
Extent of traffic intrusion	Key through road from Banstead Road South to Brighton Road	Minor/very limited. Quiet suburban feel	None, would only be used by residents	None. Cul-de-sac so access for residents only	Moderate traffic flow. Quiet suburban feel	None. Cul-de-sac so access for residents only

TABLE 4.4: ASLC Assessment Matrix for Roads Assessed but not proposed for inclusion.

Assessment Criteria	Chiltern Road	Bassett Close	Woodbury Drive	Cheviot Close	Crossways	The Byway
Land uses	Residential	Residential	Residential	Residential	Residential	Residential
Listed/Locally Listed Buildings	Locally Listed Building LL42 - No.35 Chiltern Road	None	None	None	None	None
TOWNSCAPE VALUE / ARCHITECTURAL QUALITY						
Extent of visible extensions to the original buildings	Minor	Minor	Minor	Minor	Minor	Minor
Buildings types	Mixed residential, Flats at Brighton Road end, Harris School and Chiltern Church, Detached, Semis and Bungalows in varied styles	Predominately detached	Detached and semi-detached	Detached mainly bungalows	Detached and semi-detached	Detached and semi-detached
Predominant characteristics and building materials	Varied styled Semis to the east with Tudorbethan style detached properties and bungalows in middle section of the road, interesting detached row of houses on southern end near Harris School	Predominately bungalows	Varied styles including Tudorbethan on Semis and Detached properties.	Private road with mainly bungalows	Semi and detached properties in suburban style	Varied styles including Tudorbethan on semi-detached and detached properties.
Roof forms	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped	Cross Gabled & Hipped
Scaling (e.g. storeys)	1 to 2 storeys	Predominately bungalows	2 storeys	Predominately bungalows	2 storeys	2 storeys
Detailing	Semi-detached to the south western end set back in saw tooth pattern and consistent styling, large Tudorbethan detached with splayed ground level bay, flint faced property adjacent to Chiltern Church	Standard interwar suburban designs	Standard interwar suburban designs	Standard interwar suburban designs	Distinctive brick built semis on northern side set back significantly from the highway	Some Tudorbethan influence on the Semis and semi-detached houses.
Visible changes to property under permitted development	Minor	Minor	Minor	Bungalow conversion to a white walled, grey roof detached house	Minor	Minor
HISTORICAL IMPORTANCE						
Origins of development	East-west road connecting Croydon/Epsom	1920s to 1950s	1920s to 1950s	1920s to 1950s	1920s to 1950s	1920s to 1950s

TABLE 4.4: ASLC Assessment Matrix for Roads Assessed but not proposed for inclusion.

Assessment Criteria	Chiltern Road	Bassett Close	Woodbury Drive	Cheviot Close	Crossways	The Byway
Former uses of area	East-west Road	Sutton Farm west of Sutton Farm Estate	Sutton Farm south of Chiltern	Sutton Farm east of The Gallop	Sutton Farm east of The Gallop	Sutton Farm east of The Gallop
Extent of front garden soft landscaping	Gardens are well planted with mature shrubbery alongside a driveway. However, soft landscaping is not as extensive as other parts of the proposed ASLC. Significant amount of paving for off street parking	Gardens are well planted with mature shrubbery alongside a driveway. However, soft landscaping is not as extensive as other parts of the proposed ASLC.	Some planting but there is much hardstanding for off street parking.	Gardens are well planted, though there is much hardstanding	Gardens are well planted with mature shrubbery alongside a driveway	Gardens are well planted with mature shrubbery alongside a driveway
Tree cover in gardens	Very good	Good	Good	Minor	Very good	Very good
Tree cover in streets (% mature)	88 (80%)	20 (35%)	35 (86%)	0 (0%)	20 (75%)	48 (92%)
QUALITY OF OPEN SPACES						
Open Spaces	None	None	None	None	Very large grass verges in places add to the openness	None
CONTRIBUTION OF INCIDENTAL FEATURES						
Nature Conservation	Rich natural habitat. Back gardens form a large block of green space which is likely to have biodiversity value.	Limited	Some biodiversity value	Back gardens form a large block of green space with adjoining gardens which is likely to have biodiversity value.	Back gardens form a large block of green space with adjoining gardens which is likely to have biodiversity value.	Back gardens form a large block of green space with adjoining gardens which is likely to have biodiversity value.
Negative Features	Busy traffic cut through, congestion at intersection with Cotswold Road, Seaton House School parking near Banstead Road South	None	None	None	Moderate Traffic	None
Neutral Areas	None	None	None	None	None	None
Grass Verge Square Metres	2,732	394	1,100	None	3,094	480
Age of Properties	1930 - 1955 est	1930 - 1955 est	1930 - 1955 est	1930 - 1955 est	1930 - 1955 est	1930 - 1955 est

CHAPTER FIVE – Issues facing the ASLC

Identified Issues for Sutton Farm Estate

5.1 A number of specific issues facing the proposed ASLC have been identified in the preparation of this character appraisal, including:

- Intensification of plots leading to the loss of visual gaps and dominant landscaping between buildings
- Whilst architectural style is often not cohesive the palette of materials is. Often new development imposes a style such as Neo-Georgian architecture or whitewash modern render with grey roofing which introduce a different palette of materials and appears discordant with the predominant existing character of the area
- Dominance of building to plot ratio in new development changes the character of the area.



Example photo from outside of area

It is considered that the designation of the Sutton Farm Estate ASLC will drive up the quality of proposals within the area and achieve higher quality schemes. Designs that are of the wrong palette, out of character and those that challenge the street-scene and rural nature of the proposed ASLC will be strongly challenged.

Wider Concerns of Local Residents

5.2 Concerns expressed by local residents about what they see as negatively impacting the character of the area include the following:

- Changes to the general look and feel – inappropriate design
- Closing the gap between neighbouring properties to less than 1 metre between the flank wall of a new addition and the site's side boundary.
- Over-bearing flank extensions on corner plot developments
- Front dormer windows
- Major roof extensions
- Over-looking and over-shadowing at the rear
- Over-height and intrusive front walls
- Paving over the front garden
- Change of use not in keeping with the area
- Change of traffic flow or road use that impacts street scene
- Excessive extension/ enlargement of properties that create oversize, border-touching structures and often with third storey front bay development

5.3 The 'Design Guidelines' that are set out in the next section of this document are intended to address some of these concerns.

CHAPTER SIX – Design Guidelines for the ASLC

Design Guidelines

6.1 Design guidelines are established, not to restrict development, but to give advice and guidance to householders and their architects as to how they can improve their homes while retaining the character of the area. In addition to the policies within the Local Plan it is important to provide guidance which will ensure redevelopments, individually and cumulatively do not damage the character and amenity of the proposed Sutton Farm Estate ASLC.

Key Objectives

6.2 The following objectives have been developed for the Sutton Farm Estate ASLC:

- a) Encourage development that is sympathetic to the character and appearance of the Sutton Farm Estate and surrounding area
- b) Protect the heritage, character and quality of the local environment
- c) Support local distinctiveness which also contributes positively to the street scene
- d) Preserve the ‘Arts and Crafts’, Surrey vernacular, Tudorbethan and traditional styles of the current built environment
- e) Ensure the palette of materials used is properly defined and preserved

Principal Design Characteristics

6.3 The development on the Sutton Farm Estate is predominantly of inter-war housing, drawing broadly from the architectural style and detailing of the Arts and Crafts movement, Surrey vernacular and Tudorbethan styles. The standard of build is very high and the area has ‘distinguished’ standard. The key design characteristics can be summarised as:

- a) Large spacious plots that respond well to their setting, with properties set back a significant distance from the road.
- b) Use of brick and rendered elevations, red clay tiled hipped roofs, and subsidiary projecting gables and bays. Overall design of the front elevation of properties is asymmetric.
- c) Mature front garden landscaping and front boundary treatments that reinforce the open and spacious character of the area.



Design Guideline 1 - General Style: Built form that is in keeping with the original architectural design

6.4 Across the proposed ALSA there is a variety of individual expression which does not disturb the street pattern and building form, which is one of the attractive features of the area, displaying an architectural form around a consistency of materials to give the feel of high quality homes that give Sutton Farm Estate a charm that is distinctive to this area.



Non-typical flint faced property of charm and of high-quality build. Located in The Highway and of similar style to flint-faced buildings in The Gallop.

6.5 However, while there is a great variety in appearance, these varied designs predominantly incorporate basic Arts and Crafts themes, Surrey vernacular or Tudorbethan elements and have a gentle, informal feel. Houses are commonly asymmetrical, as shown in the images in Table 6.1, but may also display a combination of architectural features on their frontage, which add richness and texture. These create interesting facades. A flat front elevation with a regular array of windows is not part of the area's character.

6.6 Typical design feature across the Sutton Farm Estates, as illustrated in Table 6.1, include:

- Hipped/cross hipped roof, gable ends, asymmetrical roof design combining roof styles
- Subsidiary side extensions with lower roof forms and frontal set backs
- Subsidiary projecting gables (but not on the main roof)
- Angular or semi-circular bays, sometimes full height but can be ground floor only
- Bays, where full height, are often capped with a rectangular hipped roof that overhangs the bay and which may be supported on brackets

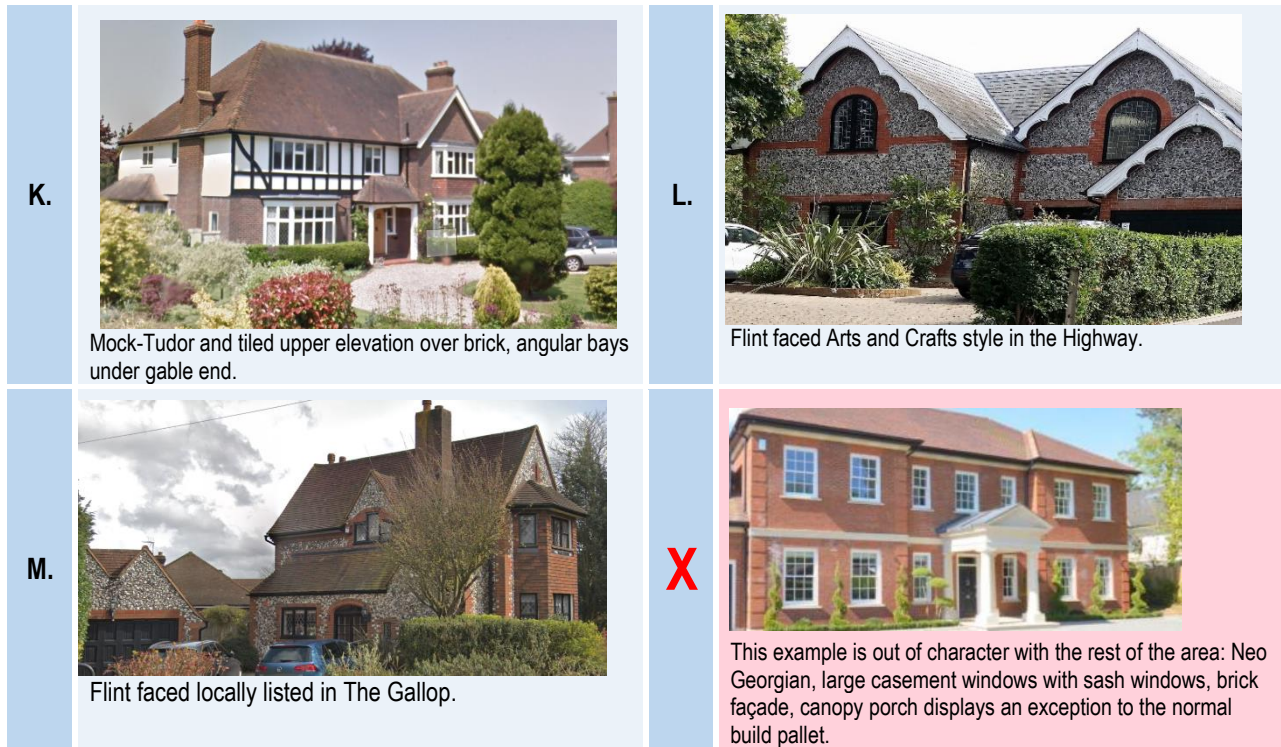
Design Guideline 1 – General Style

Conserve and enhance the established character of the area and in particular:

- (i) Retain the established building line.
- (ii) Maintain the one and two-storey building heights.
- (iii) Ensure roof pitch profiles compliment the surrounding properties.
- (iv) Ensure front elevations capture the distinctive features of the area, namely bays and gables.

TABLE 6.1: Typical Design Features

<p>A.</p>	 <p>Clay tile hung, cross hipped roof, hipped porch, oak front door, asymmetrical style.</p>	<p>B.</p>	 <p>Unusual tiled turret, cross hipped roof with tiled gable end.</p>
<p>C.</p>	 <p>Tile hung upper elevations, round bay under supported gable end roof.</p>	<p>D.</p>	 <p>Rendered bungalow with hipped roof and several highly crafted features.</p>
<p>E.</p>	 <p>Symmetrical brick built with hipped roof, canopy porch and oak door.</p>	<p>F.</p>	 <p>Tile hung upper elevations over brick, unusual porch and central windows.</p>
<p>G.</p>	 <p>Mock-Tudor upper elevations (black and white) over red brick. Asymmetric gable. Hipped roof porch with oak front door.</p>	<p>H.</p>	 <p>Mock-Tudor mixed with tile hung elevations, ornate roof gable and oak door.</p>
<p>I.</p>	 <p>Tile hung upper elevations over brick, inglenook chimney feature on front façade.</p>	<p>J.</p>	 <p>White rendering, ornate porch, asymmetrical hipped roof</p>



Design Guideline 2 - Retention of spacious character and gaps between properties to preserve the “Open Character” and low density of the area

6.6 Sutton Farm Estate is characterised by low density development of detached houses situated in large plots with mature landscaping. The area has an open and rural feel to it and it is this aspect which is arguably the most significant feature of the area.

6.7 As originally laid out the houses were set in spacious plots with large gaps between them. Hipped roofs maximise the separation between the houses at the upper level. The front gardens are large with the properties set back a significant distance from the front boundary treatment. The roads have wide tree lined verges. Specifically:

- **Plot widths:** The plot widths vary across the proposed ASLC but are generally between 18 to 26 metres and rarely less than 18 metres. Subdivision of plots is strongly discouraged.
- **Separation:** The minimum size of this gap between properties as viewed from the street will vary according to the overall width of the plot. The actual dimension will depend on the individual case, taking into account the pattern of existing gaps in the street scene and any relevant planning history. However the gap between the flank wall of a new addition and the site’s side boundary with a new property should not be less than 1 metre at any point of the elevation.
- **Front garden depth:** The depth of front gardens should observe the established depth for the relevant road and maintain the existing building line.
- **Back garden development:** All original houses in the proposed ASLC will have a good separation from the property to the rear and this should be maintained. Back garden development, whether by gaining access through an existing gap or formation of created gap in the street-scene or by using the return frontage of a corner plot, will be resisted where this does not form part of the established character of the area and would be contrary to Policy 13 of the Local Plan
- **Corner plots:** Design and layout for a corner plot needs careful attention to make sure it relates to both principal (defined as were the front door is located) and return (side) frontages. It is essential that the flank elevation does not overpower its street-scene by being too high or too close to the side boundary.

Design Guideline 2 – Spacious Character

New development should:

- (i) Respect the original spacious plot layouts
- (ii) Conserve and enhance the local streetscene
- (iii) Protect the amenity of occupiers and those occupying nearby properties

New development should not:








- (iv) Lead to the sub-division of plots
- (v) Lead to backgarden land development
- (vi) Create a ‘terrace effect’ in terms of reduced separation distances and rooflines

Design Guideline 3 - Palette of Materials

6.8 Characteristic materials for the front elevation are red brick, sometimes at ground floor level only, white or cream rough cast render finish or Tudorbethan style features at a first-floor level. Tile hung first floor elevations or bays with tiles to match the main roof are also typical features. Locally listed flint faced building are a feature in The Gallop near Chiltern Church and in a house in The Highway. Pebble-dashed elevations are not characteristic of the area.

6.9 Roof tiles should match the existing (or as near as possible). Original roof tiles were handmade red clay tiles manufactured in Surrey by Swallow’s Tiles. Materials in other colours such as yellow stock bricks, grey slate, black or green roof tiles are not characteristics of the area and are strongly discouraged.

TABLE 6.3: Palette of Materials

✓		✓		✓	
✓			✓		
X				X	

Design Guideline 3 – Palette of Materials

New development, including alterations and extensions, should respect, and where appropriate replicate, the predominate materials of the ASLC, namely red clay roof tiles and red bricks, rough cast render, Tudorbethan styling and tile hanging on bays or the whole upper elevation.

Design Guideline 4 - Window styles

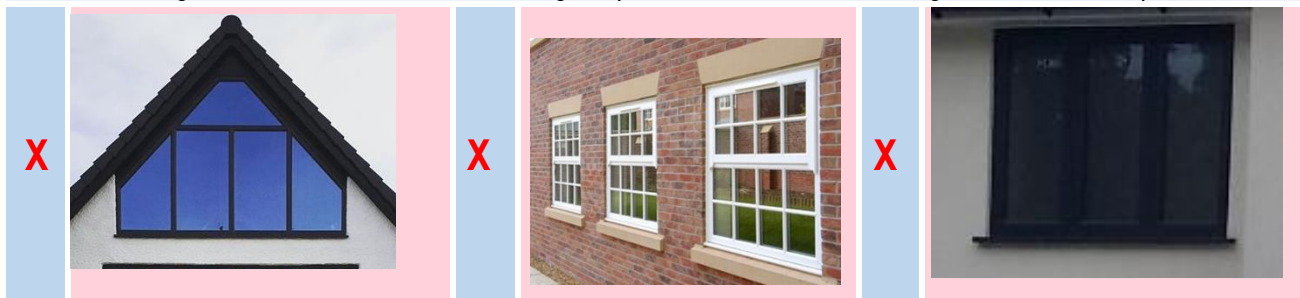
6.10 The proposed ASLC has predominantly leaded lights with a rectangular or a diamond pattern. Transom bars are commonly used on ground floor to break up large casement windows. Tile detailing is often used to provide weathering over windows. Window proportions are generally “horizontal”, as distinct from “vertical” sash windows. Large expanses of plain glass are not characteristic.

6.11 Sash (“vertical”) windows as typified by Edwardian or neo-Georgian designs or windows with glazing bars creating multiple small panes are not characteristic of the proposed ASLC and should not be used. Stone lintels and sills are also not characteristic and should not be used.

TABLE 6.4: Window Styles



Hall and landing windows often feature decorative glass panels of various leaded design which should be preserved.



Gable windows and cased windows with stone lintel and black full pane windows are not characteristic of the area (some images from outside of area).

Design Guide 4 – Window Styles

The replacement or addition of windows should:

- (i) Respect the existing window proportions
- (ii) Retain or where appropriate, introduce decorative glass panels and leaded light designs.

Design Guide 5 - Architectural Detailing

6.12 Architectural detailing is quite distinctive within the proposed ASLC and it follows either Tudorbethan style with white render and black woodwork or red brick walls with tile hanging. If not Tudorbethan or tile hung, front elevations are usually brick at a ground floor level with render above. Use of render is typically traditional roughcast in white or cream finish.

TABLE 6.5: Architectural Detailing

✓		✓		✓	
✓		✓		✓	
✓		✓		✓	

Design Guideline 5 – Architectural Detailing

New development, including extensions and alterations, should retain, and where appropriate, introduce, the typical detailing in the ASLC, namely:

- (i) Tudorbethan with white or cream rough-cast render; or
- (ii) Red bricks with tile hanging

The use of black wooden window frames is encouraged where appropriate.

Design Guideline 6 - Roofs and Dormers

6.13 The roof form and profile have a major impact on the character of the area. New developments or incremental changes such as unsympathetic dormer windows, removal of chimneys, poor detailing for eaves and excessive use of solar panels (especially where visible from the street) can potentially harm the visual quality and character of the area as a whole.






6.14 Subsidiary gables are characteristic of the area where these add interest to the front (or rear) elevation. Gabled ends to the main roof are strongly discouraged as they are not characteristic of the area and have the effect of closing the gap with the adjacent properties (or over-powering the street scene for corner plots).

6.15 Front dormer windows will only be acceptable where they form a characteristic feature in the street scene. Dormer windows at a second-floor level on rear elevations are acceptable but not if they are clearly visible from the public realm (e.g. corner plots). Skylights may be set within the roof slope. Also, to be retained (where present) or re-instated are details such as:

- Brackets supporting wide eaves over canted or bowed bays.
- Boxed or open soffits with exposed joist ends soffits or closed soffits with crafted moulding.

6.16 When refurbishing, replacing or extending the roof, existing chimneys should be retained. Care must be taken when installing solar panels on a roof slope particularly when they would be visible from the street.

TABLE 6.6: Roofs and Dormers

✓		✓		✓	
✓				✓	
X					

Design Guideline 6 – Roofs and Dormers

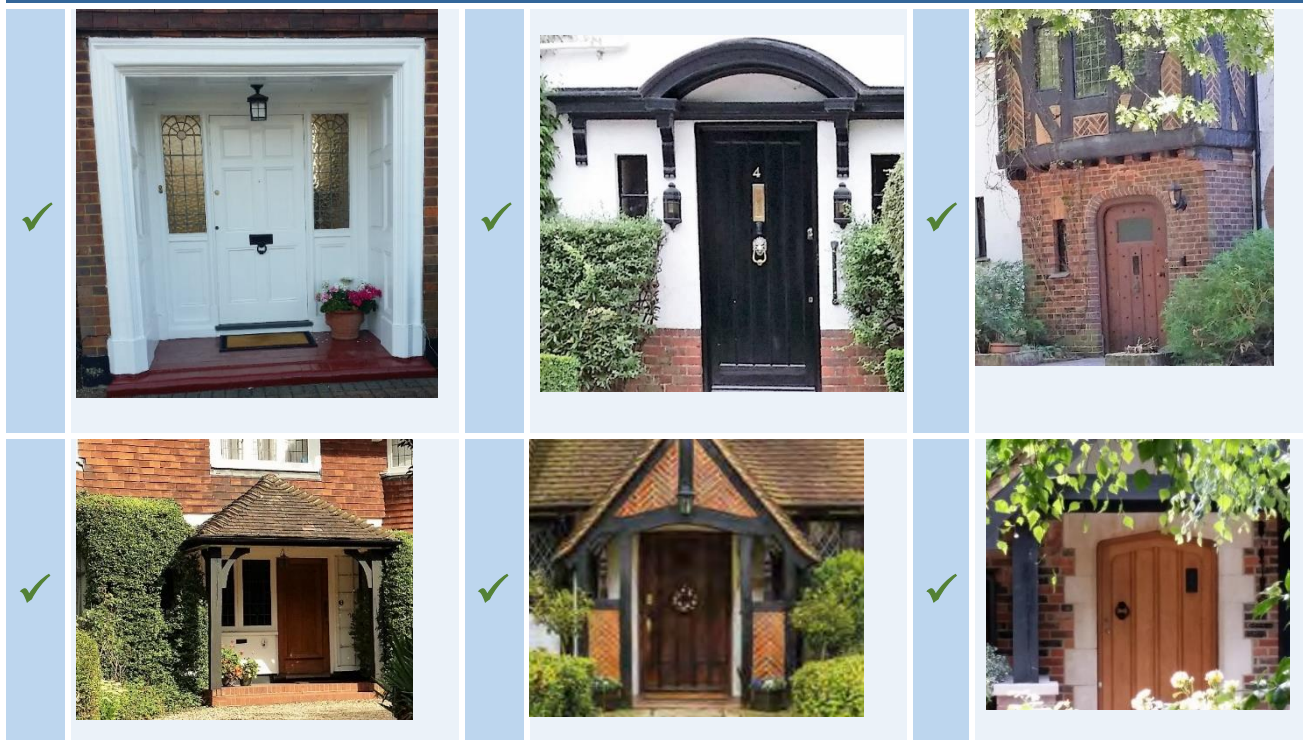
Redevelopment involving roofs, including extensions, should respect the original roof profile and form. Detailing on eaves and guttering should be conserved and, where appropriate, enhanced along all elevations.

Design Guideline 7 – Porches and Doors

6.17 Many properties within the proposed ASLC have porches, some integral to the overall front façade and some with canopies. They can have a pitched or gabled tiled roof that harmonises with the main roof or they can be a simple flat canopy with console brackets or suspending straps.

6.18 Front doors are typically oak in Tudor style with iron fittings and often studded. These are an important recognisable feature of the proposed ASLC.

TABLE 6.7: Porches and Doors



Design Guideline 7 – Porches and Doors

When adding or replacing porches, the new development should respect the existing character of the dwelling. In general new porches may be:

- (i) Canopies with supporting wooden brackets or hanging metal supports; or
- (ii) With pitched or gabled roofs

Front doors should be in timber finish with detailing.

Design Guideline 8 - Landscaping, Front Walls and Gates

6.19 The general character of the area is one of open attractiveness. The original houses and many of the current houses have lawns and gardens stretching to the pavement with a very low retaining wall.

6.20 Where the need for enclosure is a requirement, front boundary walls and gates should not exceed the height allowed under Permitted Development rights (maximum 1m high within 2m of the front boundary, though piers could go higher than 1m dependent upon design). Substantial front boundary structures are strongly discouraged as they are not characteristic of the area.

6.21 Under an exceptional circumstance and if found justified, higher front boundary walls may be permitted. However, the walls (and gates) should not exceed 1.8m, of which a minimum of 2/3rds should be transparent (i.e. railings). Hedging or other landscape treatment should be provided immediately inside the front boundary to minimise the visual impact of railings.

6.22 The majority of houses in the proposed ASLC have substantial front gardens and it should not be necessary to pave over large parts of the front garden to provide parking for the residents of the house and their visitors. Excessively paving over the front garden is environmentally undesirable, disturbs natural habitat, unduly stresses street drainage, and may cause flooding to the house or garage. The effect of excessive hard surfacing of front gardens is extremely detrimental to the character of the area. The maximum amount possible of soft landscaping and/or vegetation should be retained or created through new development.

TABLE 6.8: Landscaping, Front Walls and Gates



Design Guide 8 – Landscaping, Front Wall and Gates

- (i) New front boundary walls should respect the existing street character. Front boundary walls should be no more than 1 metre in height (excluding piers), unless there are exceptional circumstances.
- (ii) Paving of front gardens should be minimised. Any paving that is required should be of a permeable or porous material.

Street Scene

6.23 All stakeholders strive to preserve the open spaciousness of the street scene. The mature planting, the wide grass verges, low boundary walls, the setback building line, the road trees, the low level of traffic flow and current low level of traffic parking all need to be preserved.

6.24 The roads follow the original country lanes and tracks meandering through the area, they are all wide with generous grass verges (c.10,000 square metres in total in the SFA) planted with a variety of trees, (nearly 400 in total). Vehicle free roads that are wide with low boundary walls and mature planting within the gardens and the highway are a key characteristic of the proposed ASLC.

TABLE 6.9: Streetscene



Anecdotal evidence to support the ASLC

6.25 The quiet, rural street scene and the large gardens of the area provide large areas of rich habitat for a very wide range of species.

6.26 Residents have seen an increase in bird life, insects, butterflies, moths and bats in recent months and it seems likely to be partly as a result of lost habitat at the old Sutton Hospital site as well as the Marsden/Cancer Hub site to the south of the proposed ASLC.

6.27 It would be wrong to ignore this migration and thus it is of interest to the future biodiversity of the proposed ASLC that everything possible is done to maintain an environment of low-density housing and rural street scene where species can flourish in a stable habitat.



6.28 Any Development which results in a loss of biodiversity will be resisted, for example the loss of back garden land.

CHAPTER SEVEN – Summary

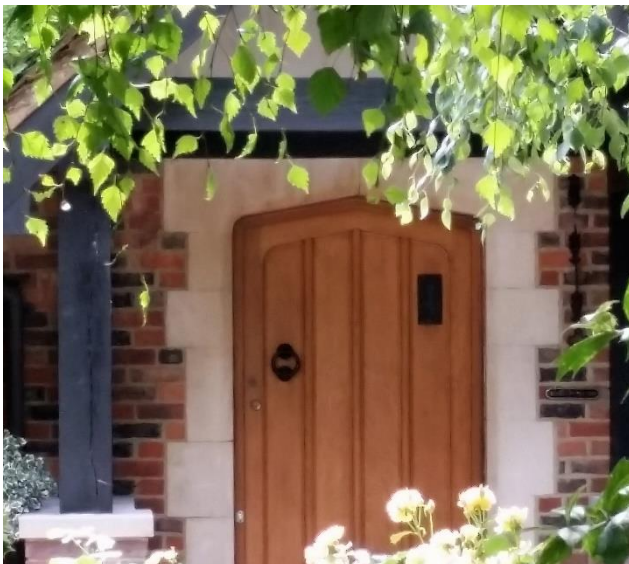
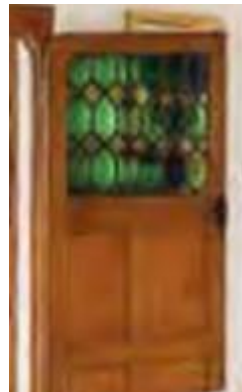
Summary

7.1 The Sutton Farm Estate provides lasting testament of the foresight of the local visionaries of the early 20th century. Men like Taylor, Dibdin, Burlingham, Meredith and the Overton dynasty. The street scene and building style encapsulate the mood of several key artistic and design movements. The movements also show their influence on property interiors as can be seen from two Heath Drive properties below.

7.2 The desire of this report is that the London Borough of Sutton create the structure to maintain and enhance the proposed Sutton Farm Estate ASLC area for benefit of future generations.

7.3 South Sutton Neighbourhood Association, Sutton Farm Estate ASLC Committee: Colin Iddles, Ann Morton, Mark Randall. With thanks to Peter Matthey of BSCRA for creating the ASLC template.

7.4 The SSNA wish to thank Dean James and the planning team of the London Borough of Sutton for their advice and guidance in the creation of this document.



SSNA

South Sutton Neighbourhood Association

APPENDIX

Image Acknowledgements

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